

JAY RAND
SUPERVISOR
LAURIE C. DUDLEY
TOWN CLERK/ TAX COLLECTOR
523-2162

JACK FAVRO
DEREK DOTY
RICHARD CUMMINGS
EMILY KILBURN POLITI
TOWN COUNCIL

KENNETH PORTER
SUPT. OF HIGHWAYS
523-9081

CATHERINE EDMAN
BUDGET OFFICER
523-9517

TOWN OF NORTH ELBA

2693 MAIN STREET
LAKE PLACID, NEW YORK 12946
phone: (518) 523-9516 fax: (518) 523-9569
web: www.northelba.org



EUGENE MARTIN
PARK DIST. MGR
523-2591

MIKE ORTICELLE
DARCI LAFAVE
CODE ENFORCEMENT OFFICIALS
523-9518

TODD ANTHONY
ASSESSOR
TEL: 523-1975
FAX: 523-9821

TOWN COURT OFFICE
523-2141

RONALD J. BRIGGS
ATTORNEY FOR THE TOWN

APPLICATION TO REVIEW BOARD COVERSHEET

Applicant:

Name: David Pitts

Address: 38 Elm Rock Rd., Bronxville NY 10708

Telephone & Email: 914-843-4545; david@argotpartners.com

Property:

Address: Camp Woodridge (#263), West Shore, Lake Placid

Tax Map #33.11-3-7.000

Zoning District: North Lake Residential w/ Shoreland Overlay

Authorized Agent, if any (submit authorization letter):

Name: Jon Alex Marklund/Viking Woodworking & Construction LLC

Address: 49 Church St., Saranac Lake NY 12983

Telephone & Email: 484-574-9391; northmanhammer@gmail.com

Nature of Request:

Seeking approval to construct an accessory building (sleeping cabin).

Evidence of Owner Authorization Submitted: Deed

Evidence submitted that a deed restriction does not exist regarding this type of application: Deed

Has this property had prior Planning/Zoning review and/or approvals?

If yes, please explain:

Fee Structure:

Date Paid: _____

\$50 fee for applications with up to \$100,000 of improvements

\$100 fee for applications with over \$100,000 of improvements

Applicant's Signature: Jon Alex Marklund Date: 8/21/20

Subscribed and sworn to me this 21st day of August, 2020.

Notary Public: Britt E. Isham (see original application)

ROBERT A. POLI
TOWN ENGINEER
VINN O'NEAL, TOWN DIRECTOR
BOB MILLER
JAY L. RAND
DEREK DOTY
JACK FAVRO
LARRY C. STRAIGHT
TOWN CLERK
CATHERINE EDMAN, CMA
BUDGET OFFICER
TEL: 802-881-
FAX: 802-881-

TOWN OF NORTH ELBA
TOWN CLERK
TOWN ENGINEER
PHONE: 802-881-4615 FAX: 802-881-4689
WWW.NORTHELBA.ORG



ELLEN W. WILSON
TOWN CLERK
TOWN ENGINEER
TOWN DIRECTOR
TOWN CLERK
TOWN ENGINEER
TOWN DIRECTOR
TOWN CLERK
TOWN ENGINEER
TOWN DIRECTOR
TOWN CLERK
TOWN ENGINEER
TOWN DIRECTOR

To the Town of North Elba/Village of Lake Placid Building Department

I, David Pitts, owner of the

property located at 12 George & Bliss Ln. # 263, do

hereby give Jon Alexander Marklund

permission to apply for all required approvals and/or permits on my behalf.

[Signature]
Owner Signature

8/7/20
Date

DAVID PITTS
Print Name

VIKING WOODWORKING & CONSTRUCTION LLC.

49 CHURCH ST. SUITE #1 SARANAC LAKE NY 12983

8/8/2020

Camp Woodridge Guest Cabin Project Narrative

Owner:

David Pitts
#263 Building 115, 12 George & Bliss Ln.
Lake Placid NY, 12946

Contractor:

Viking Woodworking & Construction LLC
49 Church St. Suite 1
Saranac Lake NY, 12983

The plan for this project is to construct a guest cabin/sleeping quarters behind the main camp on this Lake Placid waterfront property. This cabin will match the main camp on the property. If permitted to start this September, the goal for this project would be to finish up work in Mid-March of 2021. All site-work, framing, roofing and mechanical elements would be built or installed by mid-December, interior and exterior wall finish/coverings would be applied January, flooring, built-in cabinetry, light fixtures in-place February and final finish work and paint applied in March (weather-dependending)

ALEX MARKLUND

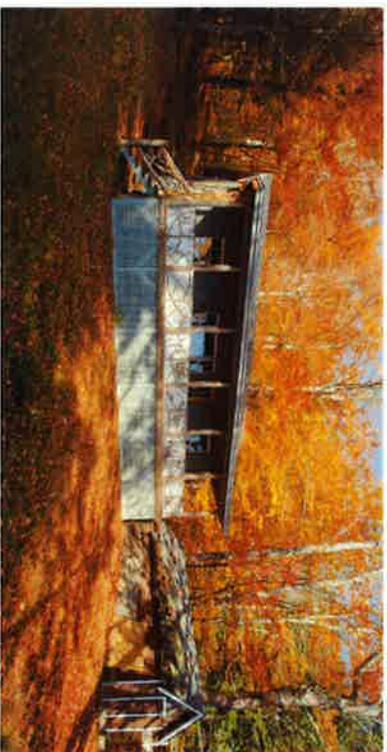
Viking Woodworking & Construction LLC.
(484)574-9391

CAMP WOODRIDGE #115

Proposal

Construct new guest cabin

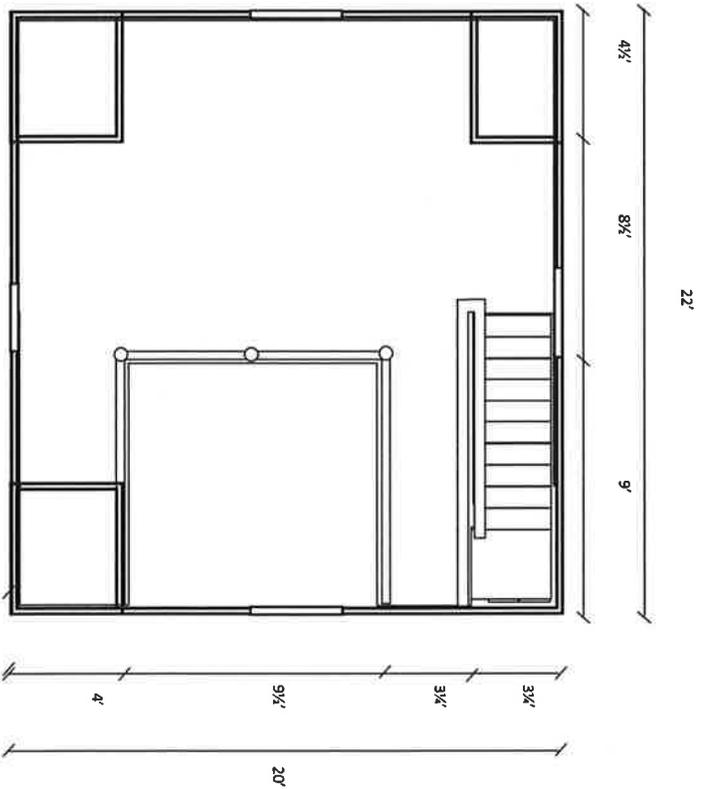
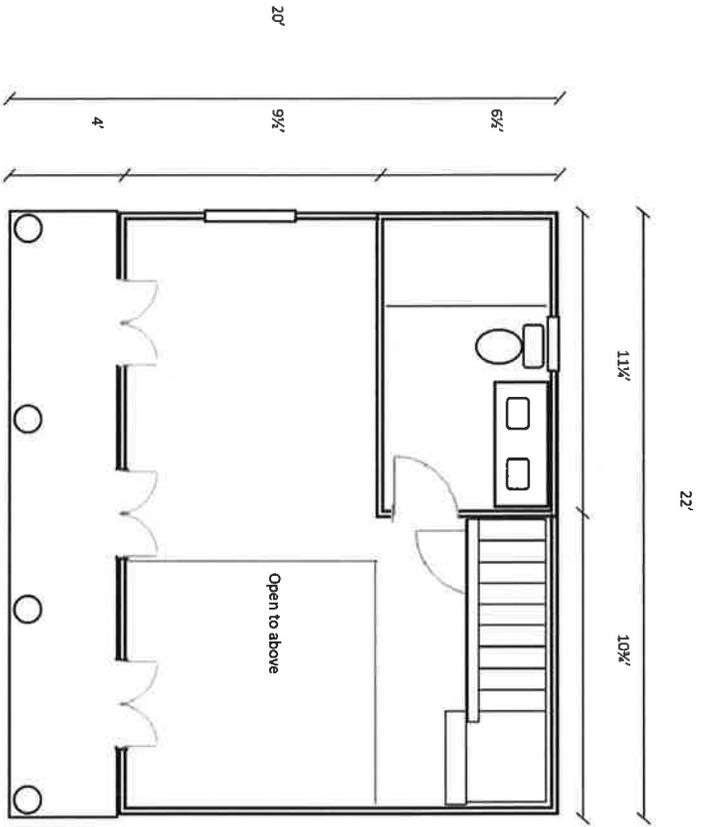
- Dimensions 22'w x 20'l
- Built 150' from shoreline, 11' from south property line on existing flat shelf above the main cabin
- Siding (live edge clapboard), color (light grey siding, white trim), birch and twig detail (on the pediment) and log columns to match existing cabin
- Grey/black asphalt roof tile to match existing cabin

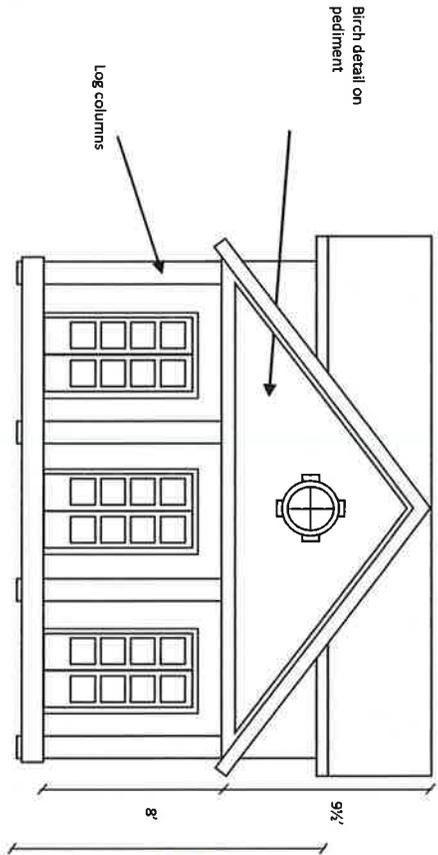


EXISTING MAIN CAMP

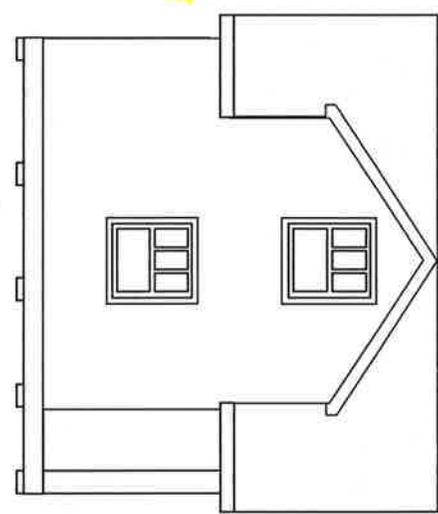


PROPOSED ACCESSORY SLEEPING CABIN

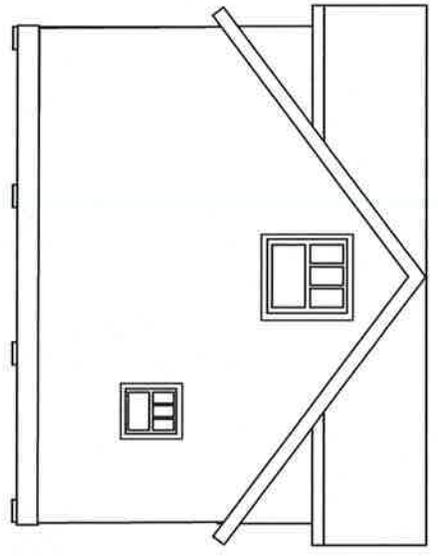




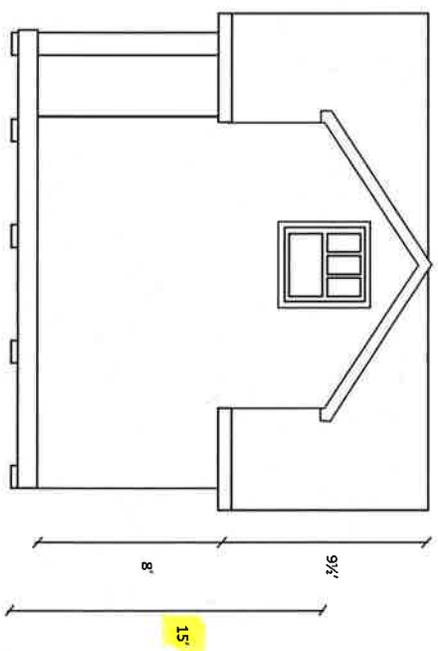
East Facing Elevation (facing lake)



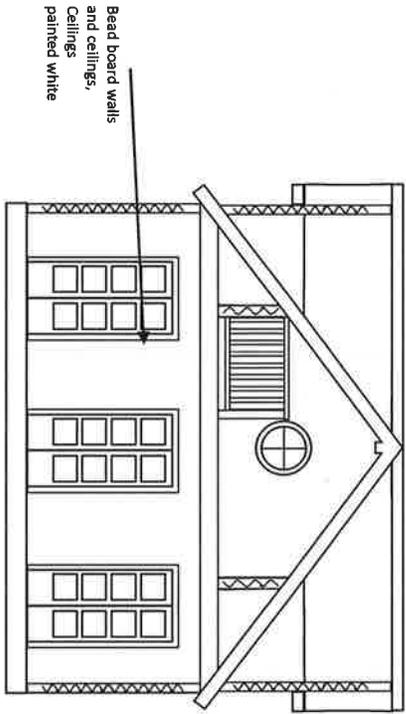
South Facing Elevation



West Facing Elevation

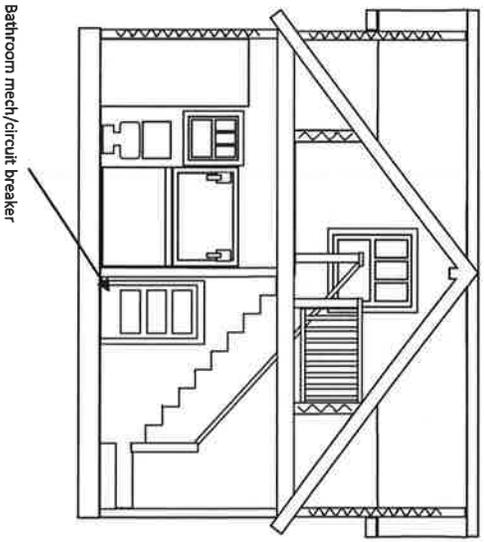
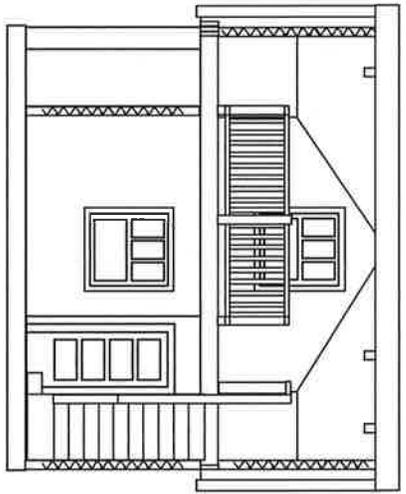


North Facing Elevation

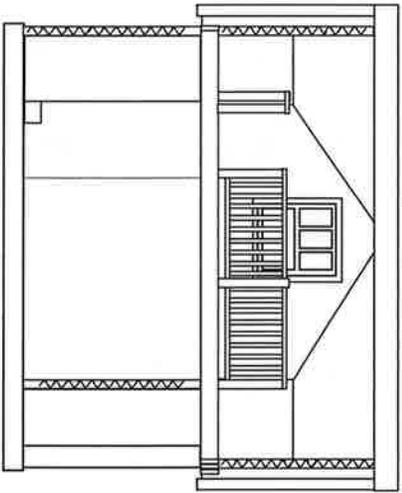


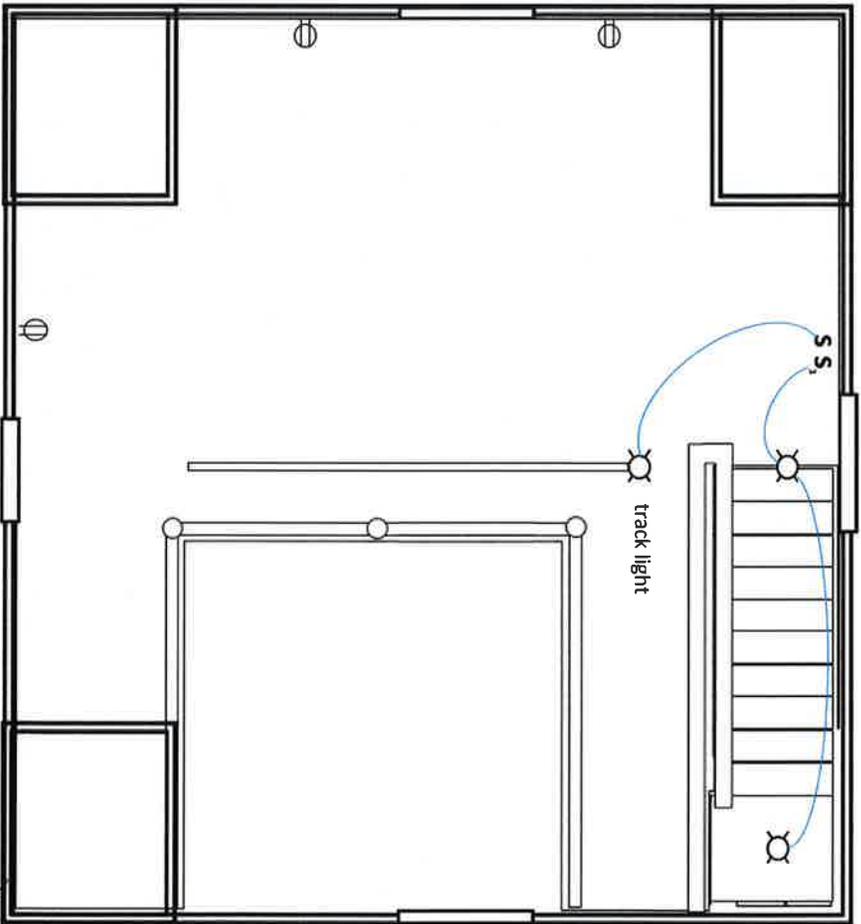
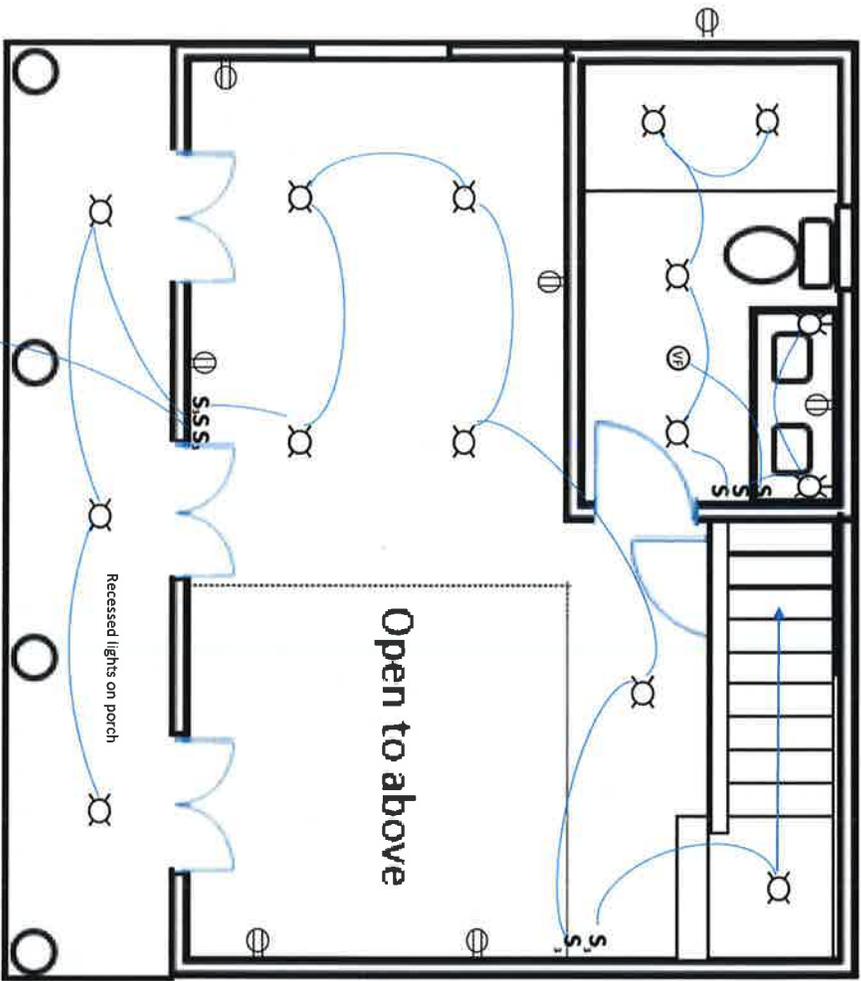
Bead board walls
and ceilings,
Ceilings
painted white

Floors matching lower cabin



Bathroom mech/circuit breaker





Guest cabin finishes

French doors



Ceilings painted white
Recessed lighting (interior and exterior)



Low profile track lighting along
main beam



Recessed directional light
above stair landing



Glass shower enclosure



Subway tile in shower



Vanity



<https://www.homedepot.com/p/Region-Furniture-54-in-W-x-22-in-D-Vanity-in-White-with-Marble-Vanity-Top-in-White-with-White-Basin-with-Backsplash-WLF2154-B/313902768>

Photographs and Color Samples

Photo #1



Photo #2



Photo #3

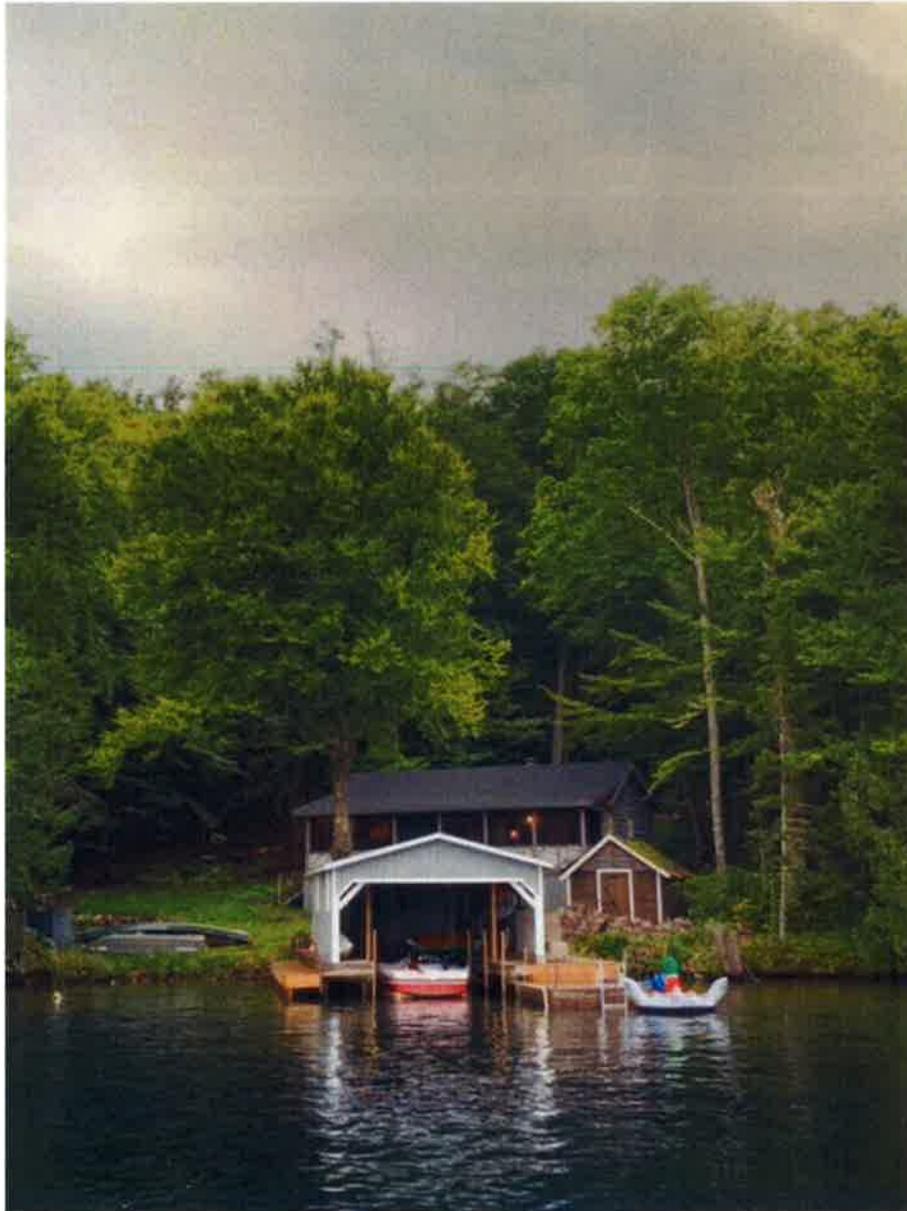


Photo #1 and #2 of main camp is an example of style/color for the new proposed cabin to match.

Photo #3 is the custom color (on file at Curtis Lumber)

Photo #4 View of the proposed building site and property from the lake. As you can see, there are some trim elements that are painted with Cabot Brilliant White paint OC-150. This will also be the color choice for any applicable trim elements on new guest cabin.

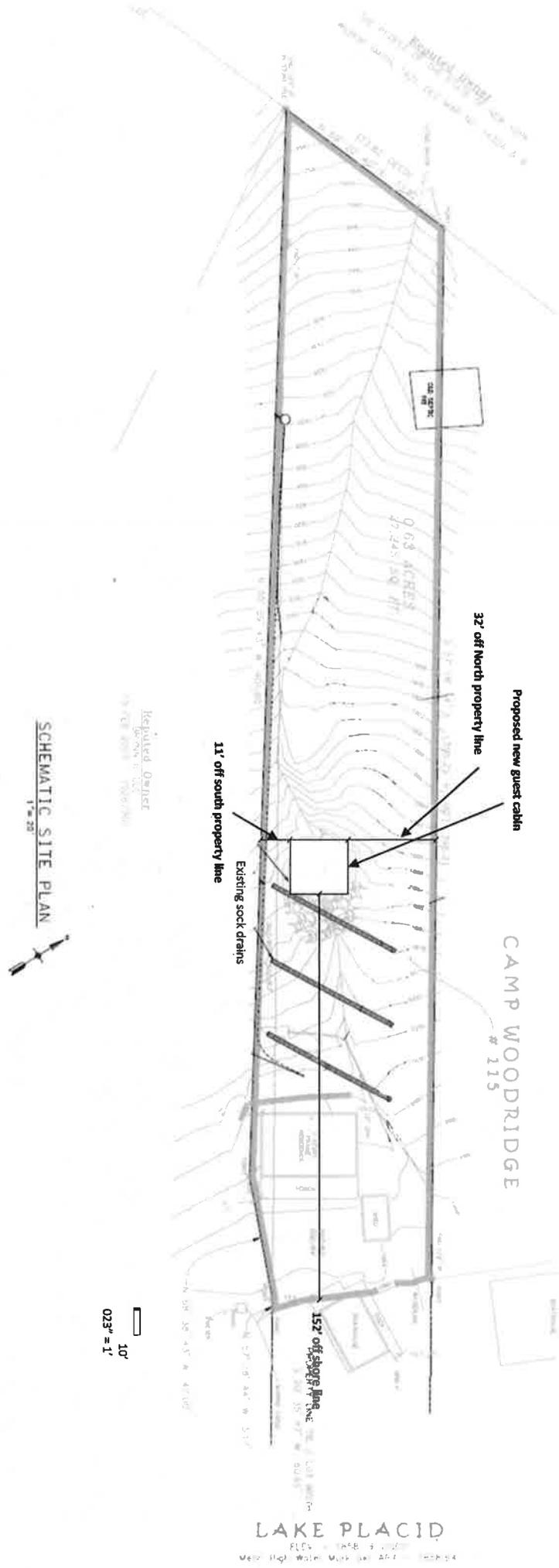
Photo #4



Camp Woodridge Proposed Guest Cabin

August 1, 2020

Site plan using MLS map of survey plotted 15/11/17



SCHEMATIC SITE PLAN
1" = 20'

10'
0.23" = 1'

Site Plan (see site map)

Tabular Summary- North Lake Residential District

	<u>Code Regulation</u>	<u>Proposed</u>
Minimum Lot Area	1.84 Acres	27,246 SF
Minimum Lot Width	160'	65'
***Maximum Building Height	30'	15'
Minimum Front Yard Setback	50'	152' away from shoreline
***Minimum Sideyard Setback	20'	South 11' / 32' North
Maximum Impervious Area	%75	< 15%
Parking	N/A	N/A

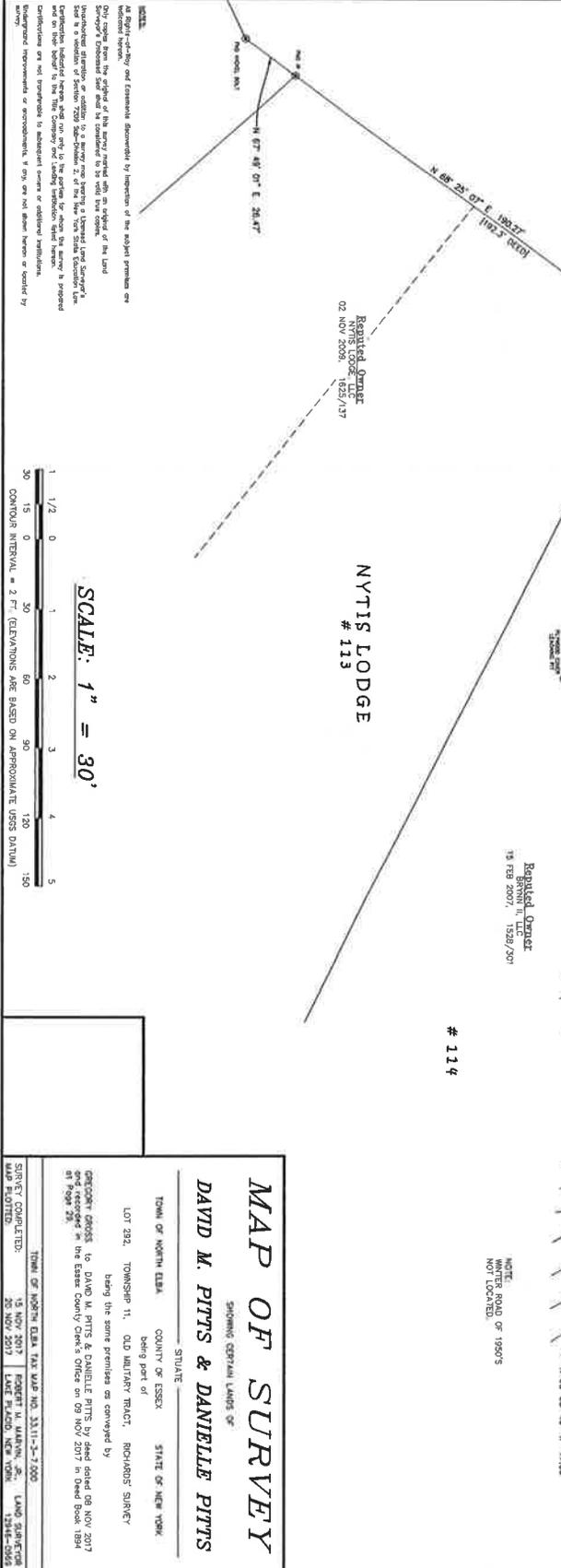
* Due to proposed cabin being accessory in nature, sideyard setback is 10' and maximum building height is 18'

(Land Use Code section 4.2.4 B(1))



Village of Lake Placid, Town of Lake Placid, Essex County, New York
 1891 DEC 30 MAP NO. 1432A-B
 1891 DEC 30 MAP NO. 1432A-B
 1891 DEC 30 MAP NO. 1432A-B
 1891 DEC 30 MAP NO. 1432A-B

Adjoining property owners:
 1. [Name], [Address], [City, State, Zip]
 2. [Name], [Address], [City, State, Zip]
 3. [Name], [Address], [City, State, Zip]
 4. [Name], [Address], [City, State, Zip]
 5. [Name], [Address], [City, State, Zip]



Regulated Open Space # 113
 02 NOV 2008, 1825/127

Regulated Open Space # 116
 28 JUL 2011, 1874/171

Regulated Open Space # 115
 19 FEB 2009, 1529/297

LAKE PLACID
 ELEV. - 1898' ± USGS
 Mean High Water Mark per APA - 1858.04'

MAP OF SURVEY
 SHOWING CERTAIN LOTS OF
DAVID M. PITTS & DANIELLE PITTS
 being part of
 TOWNSHIP 11, COUNTY OF ESSEX, STATE OF NEW YORK
 being the same premises as conveyed by
 DEEDBOOK CROSS to DAVID M. PITTS & DANIELLE PITTS by deed dated 08 NOV 2017
 and recorded in the Essex County Clerk's Office on 09 NOV 2017 in Deed Book 1894
 at Page 21

TOWN OF NORTH ESEA TWP MAP NO. 33-11-3-1-000
 SURVEY COMPLETED: 15 NOV 2017 ROBERT M. MARINI, JR. LAND SURVEYOR
 AND PLOTTED: 20 NOV 2017 LAKE PLACID, NEW YORK 13486-5265

SCALE: 1" = 30'

CONTOUR INTERVAL = 2 FT. (ELEVATIONS ARE BASED ON APPROXIMATE U.S.S. DATUM)

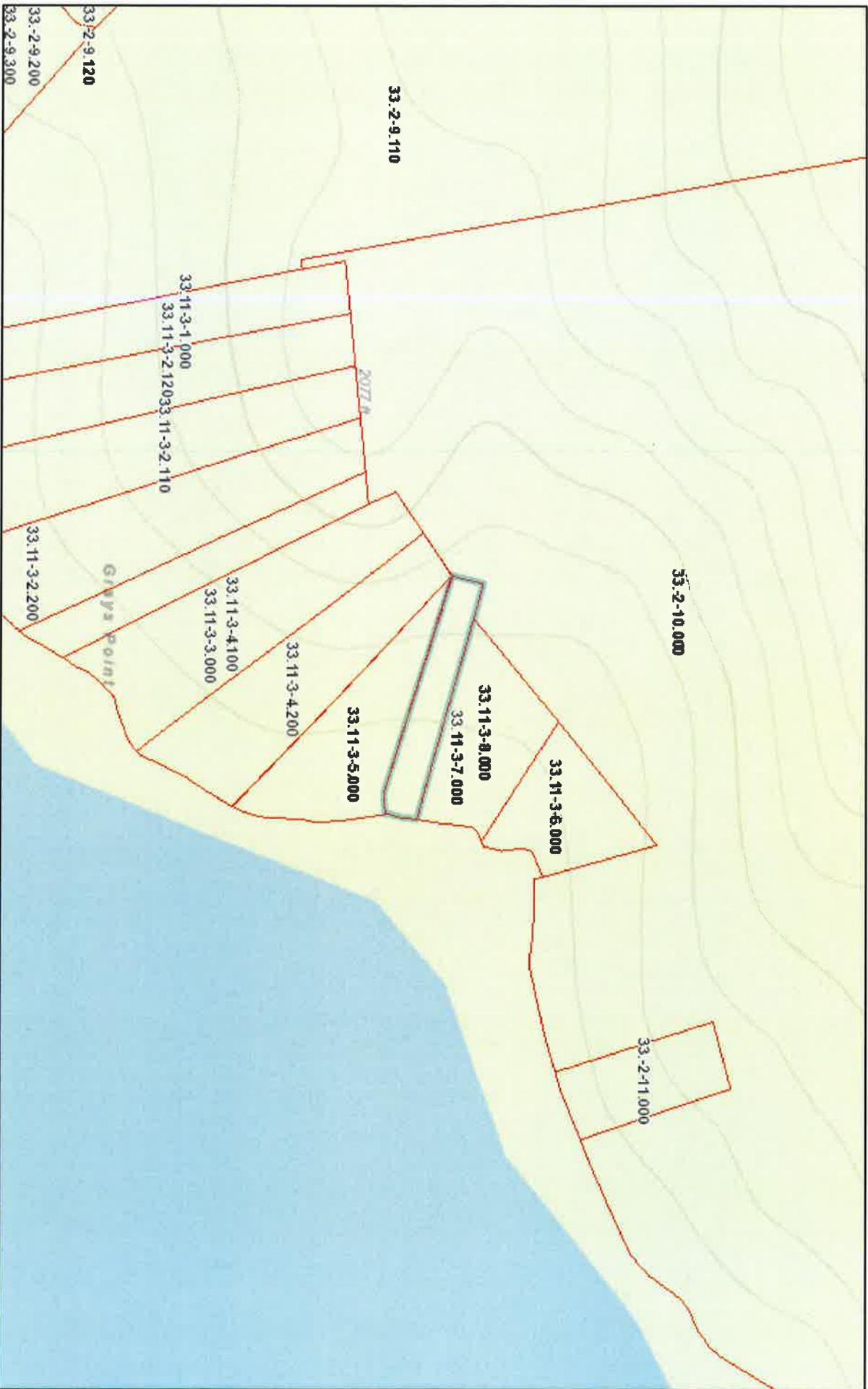
NOTE: WINTER ROAD OF 1967'S NOT LOCATED.

Pitts 33.11-3-7.000



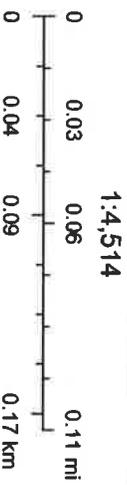
04/24/2017

Pitts 33.11-3-7.000



August 26, 2020

- County Boundary
- Village Boundaries
- Town Boundaries
- Parcels



Sources: Esri, HERE, Garmin, Intermap, Increment P Corp., GEBCO, USGS.